

REDUCTION RATIO: 1:125 AT A1	AMENDMENTS		BY	DATE
DATUM: AUSTRALIAN HEIGHT DATUM	SURVEYED	I.M.	J.A.	28/06/2022
CONTOUR INTERVAL: 0.25m (EX.)	DESIGNED	J.A.	J.A.	29/08/2022
ORIGIN OF LEVELS: SSM42015 RL 37.88	DRAWN	J.A.	J.A.	03/10/2022
DATE OF PLAN : 28/06/2022	CHECKED	P.S.		

RYGATE & WEST
INCORPORATING BULLOCK & WALTERS
SINCE 1893

P.O. BOX 107, 266 GREEN STREET LILLADULLA NSW 2539
P.O. BOX 346, SUITE 6, 30 ORIENT STREET BATEMAN'S BAY NSW 2536
mail@rygateandwest.com.au
02 44542137

R & G CREATIONS

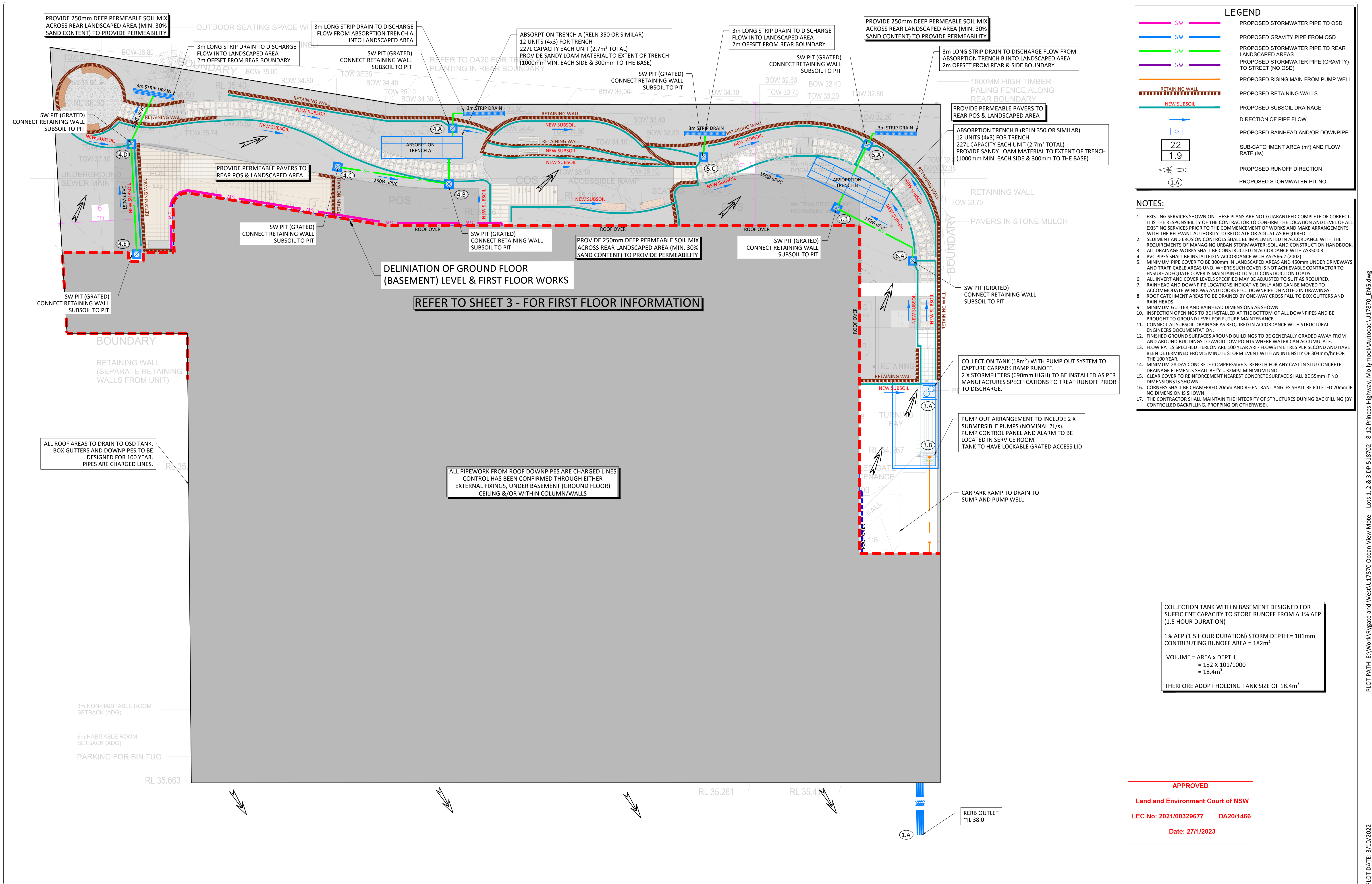
STORMWATER MANAGEMENT
FIRST FLOOR STORMWATER ARRANGEMENT - LAYOUT PLAN
FOR PROPOSED RESIDENTIAL DEVELOPMENT
OVER LOTS 1 & 2 ON DP518702 AND LOT 3 ON DP523625

MOLLYMOOK CITY OF SHOALHAVEN

REFERENCE No. U18173
DRAWING No. U18173_ENG.dwg
ISSUE C
SHEET 3 OF 6 SHEETS

PLOT PATH: E:\Work\U18173 Ocean View Motel - Lots 1, 2 & 3 DP 518702 - 8-12 Princes Highway, Mollymook\Autocad\U18173_ENG.dwg

PLOT DATE: 3/10/2022



REDUCTION RATIO: 1:125 AT A1 DATUM: AUSTRALIAN HEIGHT DATUM			AMENDMENTS	BY	DATE
CONTOUR INTERVAL: 0.25m (EX.)	SURVEYED	I.M.	REVISION A - ISSUED FOR INFORMATION	J.A.	28/06/2022
ORIGIN OF LEVELS: SSM42015 RL 37.88	DESIGNED	J.A.	REVISION B - REVISION FOLLOWING COUNCIL REVIEW	J.A.	29/08/2022
	DRAWN	J.A.	REVISION C - REVISION FOLLOWING COUNCIL REVIEW	J.A.	03/10/2022
DATE OF PLAN : 28/06/2022	CHECKED	P.S.			

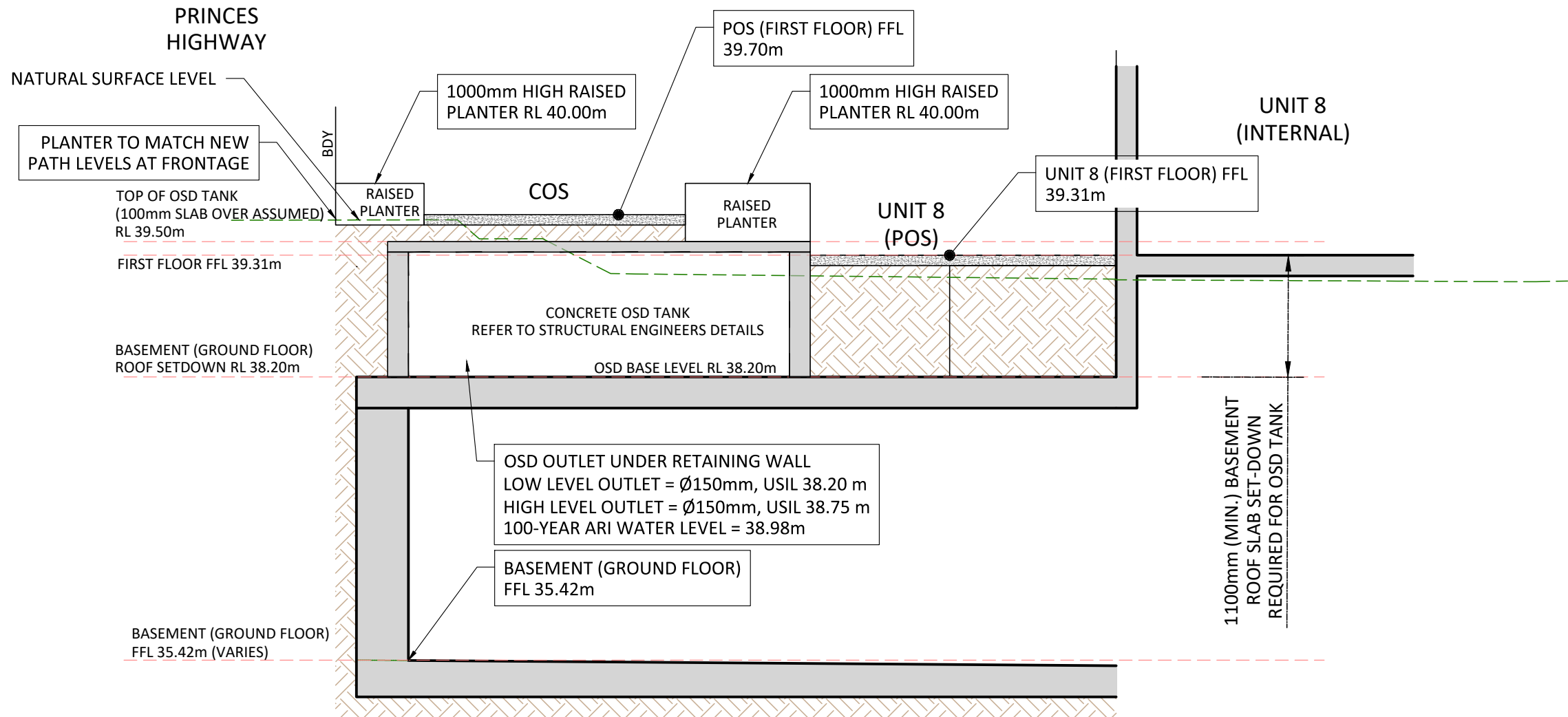
RYGATE & WEST
INCORPORATING BULLOCK & WALTERS
SINCE 1893

P.O. BOX 107, 266 GREEN STREET ULLADULLA NSW 2539
P.O. BOX 346, SUITE 6, 30 ORIENT STREET BATMANS BAY NSW 2536
mail@rygateandwest.com.au
02 44542137

R & G CREATIONS

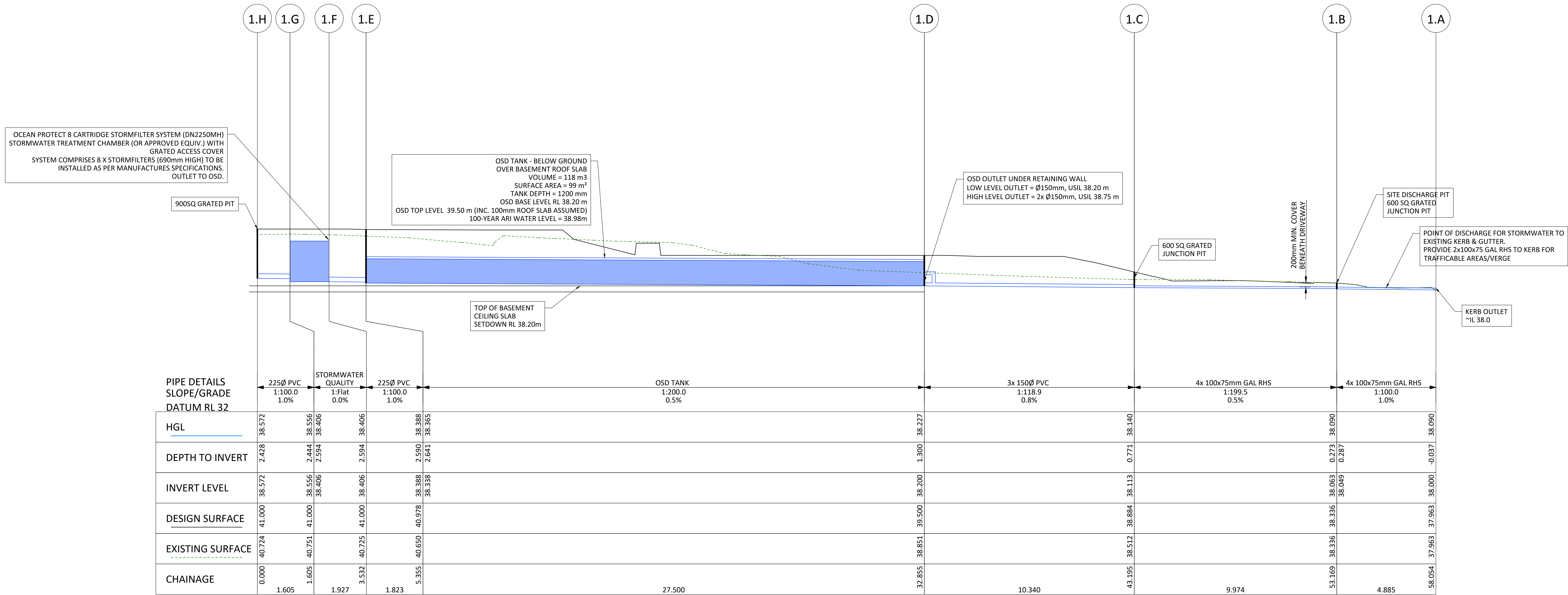
<p align="center">STORMWATER MANAGEMENT GROUND FLOOR STORMWATER ARRANGEMENT - LAYOUT PLAN FOR PROPOSED RESIDENTIAL DEVELOPMENT OVER LOTS 1 & 2 ON DP518702 AND LOT 3 ON DP523625</p>	
MOLLYMOOK	CITY OF SHOALHAVEN

REFERENCE No. U18173
DRAWING No. U18173_ENG.dwg
ISSUE C
SHEET 4 OF 6 SHEETS



APPROVED
Land and Environment Court of NSW
LEC No: 2021/00329677 DA20/1466
Date: 27/1/2023

SECTION A - OSD TANK



LINE 1
SCALES: H 1:100 V 1:100
DRAINAGE LONGITUDINAL SECTION (LINE 1 OSD)

REDUCTION RATIO: 1:125 AT A1 DATUM: AUSTRALIAN HEIGHT DATUM CONTOUR INTERVAL: 0.25m (EX.) ORIGIN OF LEVELS: SSM42015 RL 37.88	AMENDMENTS		BY	DATE
	SURVEYED	I.M.	J.A.	28/06/2022
	DESIGNED	J.A.	J.A.	29/08/2022
	DRAWN	J.A.	J.A.	03/10/2022
DATE OF PLAN : 28/06/2022	CHECKED	P.S.		

RYGATE & WEST

INCORPORATING BULLOCK & WALTERS

SINCE 1893

P.O. BOX 107, 266 GREEN STREET ULLADULLA NSW 2539

P.O. BOX 346, SUITE 6, 30 ORIENT STREET BATEMANS BAY NSW 2536

mail@rygateandwest.com.au

02 44542137

R & G CREATIONS

STORMWATER MANAGEMENT

DRAINAGE LONGITUDINAL SECTION (LINE 1) & SECTIONS

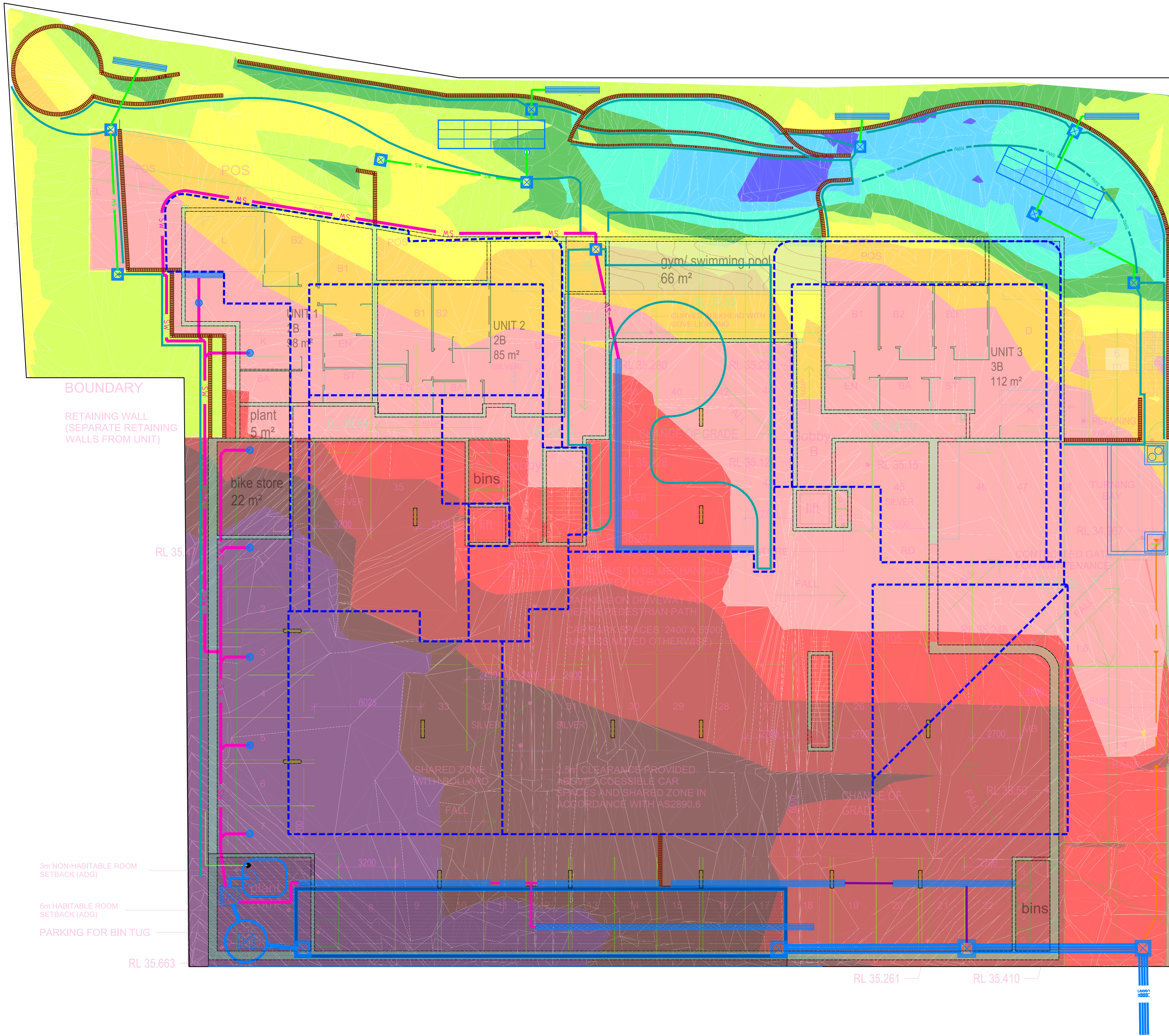
FOR PROPOSED RESIDENTIAL DEVELOPMENT

OVER LOTS 1 & 2 ON DP518702 AND LOT 3 ON DP523625

MOLLYMOOK

CITY OF SHOALHAVEN

REFERENCE No. U18173
DRAWING No. U18173_ENG.dwg
ISSUE C
SHEET 5 OF 6 SHEETS



FILLING NOTES

Geotechnical Investigations have been undertaken on 7th December 2021 by Fortify Geotech Pty Ltd. Refer to the Geotechnical Investigation Report (Reference AB/S1398) for methodology associated with the filling of the site.

Lots to be filled shall be graded with an absolute minimum grade of 0.5%.

Filling is to be of sound clean material, reasonable standard and free from large rock, stumps, organic matter and other debris.

Placing of filling on the prepared areas shall not commence until the authority to do so has been obtained from Council.

All work shall be in accordance with AS3798. Fill is to be placed in layers not exceeding 150m compacted thickness. All fill is to be compacted to 95% standard maximum dry density. Maximum particle size shall be 2/3 of the layer thickness.

Level 1 Supervision is to be performed for the duration of the filling works and certification confirming satisfactory compaction and placement of the fill.

Fill comprising natural sands or industrial wastes or by-products will be accepted by Council only in approved locations and will be subject to specific requirements determined by prevailing conditions.

It is essential that prior advice be given of intended use of such materials. It should be noted that failure to obtain Council's approval may lead to an order for removal of any material considered by Council or other relevant authorities as unsuitable or in any way unfit for filling.

All areas where filling has been placed are to be dressed with clean arable topsoil, fertilised and sown with suitable grasses.

CUT / FILL DEPTH RANGES			
No.	From Depth	To Depth	Colour
1	-6.000 Cut	-5.000 Cut	
2	-5.000 Cut	-4.000 Cut	
3	-4.000 Cut	-3.000 Cut	
4	-3.000 Cut	-2.000 Cut	
5	-2.000 Cut	-1.000 Cut	
6	-1.000 Cut	-0.500 Cut	
7	-0.500 Cut	-0.100 Cut	
8	0.100 Fill	0.500 Fill	
9	0.500 Fill	1.000 Fill	
10	1.000 Fill	1.500 Fill	
11	1.500 Fill	2.000 Fill	
12	2.000 Fill	2.500 Fill	

APPROVED

Land and Environment Court of NSW

LEC No: 2021/00329677 DA20/1466

Date: 27/1/2023

REDUCTION RATIO: 1:125 AT A1			AMENDMENTS	BY	DATE
DATUM: AUSTRALIAN HEIGHT DATUM	SURVEYED	I.M.	REVISION A - ISSUED FOR INFORMATION	J.A.	28/06/2022
CONTOUR INTERVAL: 0.25m (EX.)	DESIGNED	J.A.	REVISION B - REVISION FOLLOWING COUNCIL REVIEW	J.A.	29/08/2022
ORIGIN OF LEVELS: SSM42015 RL 37.88	DRAWN	J.A.	REVISION C - REVISION FOLLOWING COUNCIL REVIEW	J.A.	03/10/2022
DATE OF PLAN : 28/06/2022	CHECKED	P.S.			

RYGATE & WEST
INCORPORATING BULLOCK & WALTERS
SINCE 1893

P.O. BOX 107, 266 GREEN STREET ULLADULLA NSW 2539
P.O. BOX 346, SUITE 6, 30 ORIENT STREET BATEMANS BAY NSW 2536
mail@rygateandwest.com.au
02 44542137

R & G CREATIONS

STORMWATER MANAGEMENT
BULK EARTHWORKS - LAYOUT PLAN
FOR PROPOSED RESIDENTIAL DEVELOPMENT
OVER LOTS 1 & 2 ON DP518702 AND LOT 3 ON DP523625

MOLLYMOOKCITY OF SHOALHAVEN

REFERENCE No. U18173
DRAWING No. U18173_ENG.dwg
ISSUE C
SHEET 6 OF 6 SHEETS